



## Planning Committee B

22/00440/FULM

Land To The West Of 1 To 8 Garthway New Earswick

# Existing site plan



- NOTES**
- All alterations and works are to be checked on site.
  - Any developments are to be reported to the Urban & Regeneration Directorate and any work undertaken.
  - This drawing shall not be used to construct any alterations, other than those shown on this drawing.
  - This drawing shall not be reproduced without express written permission from Shaw & Jagger Architects Ltd.
  - The accuracy of the drawing and any other information is provided for the use of the client and is not intended to be used for any other purpose.

**APPLICATION BOUNDARY**  
 NEW EARSWICK CONSERVATION AREA BOUNDARY

rev	date	drawn	checked
1	2022/02	MMG	MMG
EXISTING LEVELS ADDED TO DRAWING.			
drawing stage	PLANNING		
drawing status	FOR APPROVAL		
client	JOSEPH ROJUNTREE L141 15/16 THE BKT		
project	NEW DWELLINGS GARTHWAY WEST NEW EARSWICK		
drawing title	EXISTING SITE PLAN		
date	FEB '22	drawn	MMG
scale	1:500 @ A3	checked	FS

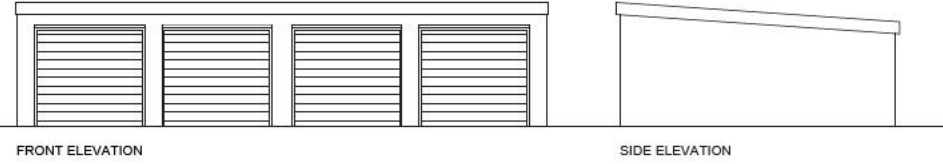
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Job No DWG No Rev  
 403/02 (02) 002 A



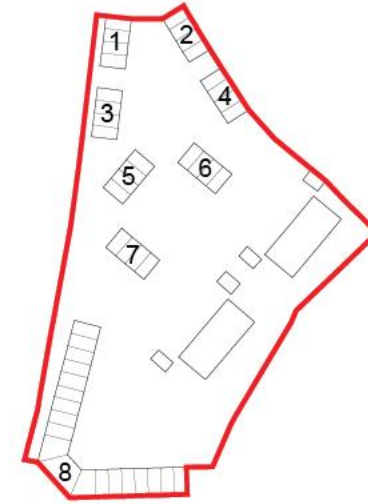
# Existing garage blocks

## GARAGE BLOCKS 1 - 7



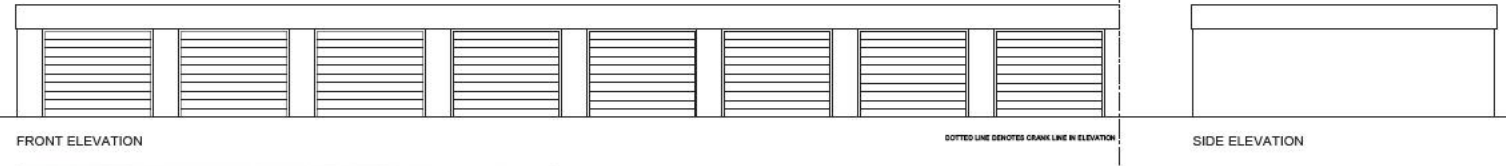
EXISTING SITE PHOTO

## EXISTING GARAGE BLOCK I.D.



- NOTES**
- All dimensions and levels are to be checked on site.
  - Any discrepancies are to be reported to the client & Jagger Architects Ltd before any work commences.
  - This drawing shall not be used to construct any structure. Work to be undertaken in accordance with the relevant building regulations.
  - This drawing shall not be reproduced without express written permission from Shaw & Jagger Architects Ltd.
  - This drawing shall not be used for any other purpose without the express written permission of Shaw & Jagger Architects Ltd.
  - This drawing shall not be used for any other purpose without the express written permission of Shaw & Jagger Architects Ltd.

## GARAGE BLOCK 8



EXISTING SITE PHOTO

drawing stage	PLANNING
drawing status	FOR APPROVAL
client	JOSEPH ROULANT REE HIGH RISK TRUST
project	NEW DWELLINGS GARTHWAY WEST NEW EARSWICK
drawing title	EXISTING GARAGES

date	FEB '22	drawn	MMG
scale	1:100 @ A3	checked	FS

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job No	DWG No	Rev
403/02	(02) 010	#



# Proposed elevations 2 bed house type



FRONT



SIDE 1



REAR



SIDE 2

- NOTES**
- All dimensions and levels are to be checked on site.
  - All dimensions are to be taken to the face of brick & gable.
  - All levels are to be taken to the top of the finished ground level.
  - The drawing shall not be reproduced without express written permission from Shaw & Jagger Architects Ltd.
  - The drawing shall not be used for any purpose other than that for which it is intended and the user shall be responsible for the accuracy of any information derived therefrom.

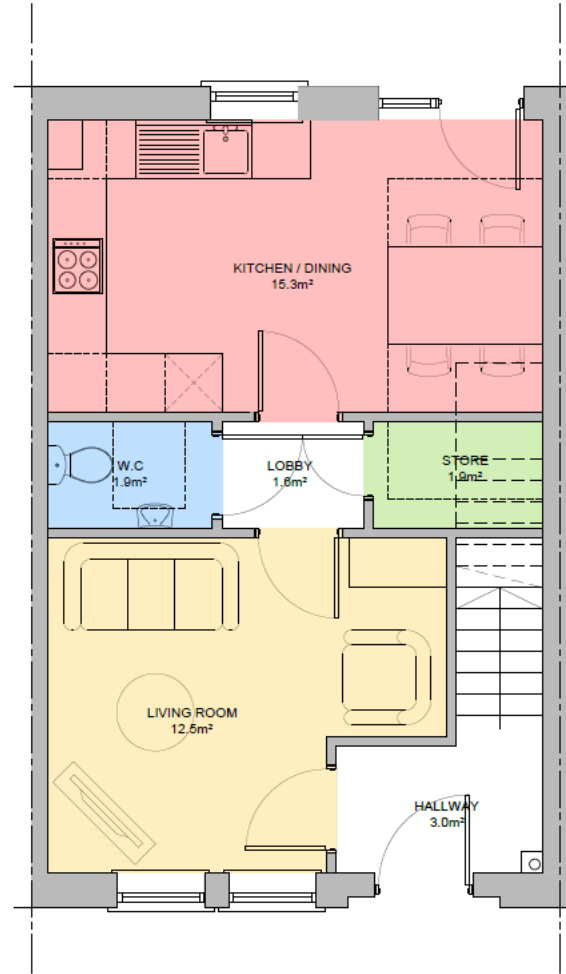
- MATERIALS KEY**
1. WALL: FACING BRICK
  2. ROOF: PAN TILE
- WALL-MOUNTED ELECTRIC CAR CHARGING PORT POSITION, WHERE FEASIBLE

REV	DATE	BY	CHKD
1	06/03/22	MMG	EJ
BRICK-BUILT SECURE BIKES & GARDEN STORE NO LONGER ADJOINING DWELLING			
2	06/03/22	MMG	EJ
REVISED LAYOUT IN LINE WITH REVISED SITE LAYOUT			
drawing stage: PLANNING			
drawing status: FOR APPROVAL			
client: JRHT JOSEPH ROUNDTREE HOUSING TRUST			
project: NEW DWELLINGS GARTHWAY WEST NEW EARSWICK			
drawing title: PROPOSED ELEVATIONS HOUSE TYPE A 2B4P			
date	JAN '22	drawn	MMG
scale	1:100 @ A3	checked	FB

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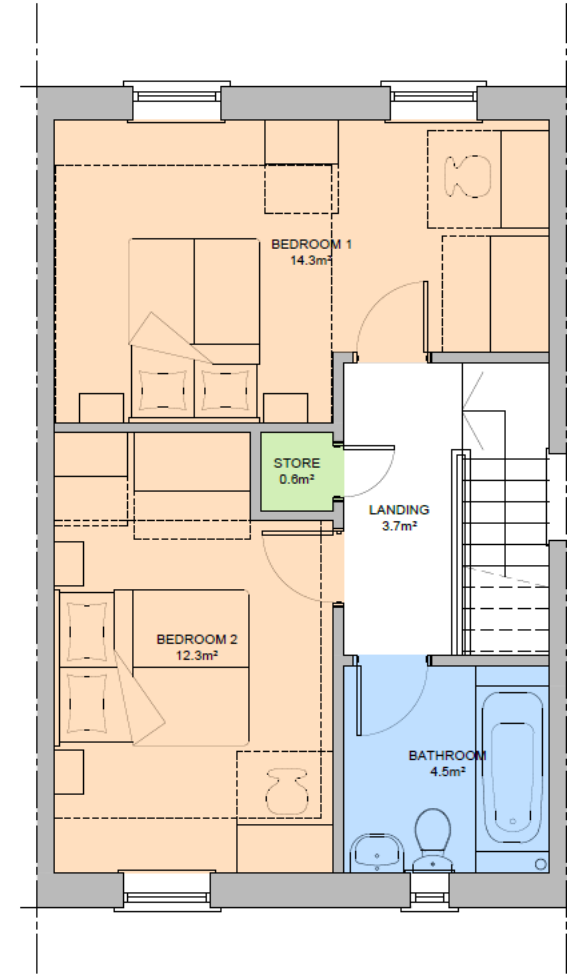
Job No: 403/02 (02) 200 B  
DWG No: Rev: B

# Proposed floor plans 2 bed house type



GROUND FLOOR

2B4P - 79.1m<sup>2</sup>  
HOUSE TYPE A



FIRST FLOOR

- NOTES**
- All dimensions and levels are to be checked on site.
  - Any discrepancies are to be reported to the client & Jagger Architects Ltd before any work commences.
  - This drawing shall not be used to construct any structure, work or fixture without the written permission of Shaw & Jagger Architects Ltd.
  - This drawing shall not be reproduced without written permission from Shaw & Jagger Architects Ltd.
  - The overall design and general location are provided for illustrative purposes only. Shaw & Jagger Architects Ltd cannot be held responsible for the accuracy or scale discrepancy of these drawings.

**NDSS CHECKLIST**

- a. Min. GIA of 79.0m<sup>2</sup> and built-in storage of 2.0m<sup>2</sup> (2B4P)
- b. Min. one double (or twin) bedroom.
- c. Single bedroom floor area min. 7.5m<sup>2</sup> and min. 2.15m wide.
- d. Double (or twin) bedroom floor area min. 11.5m<sup>2</sup>
- e. One double (or twin) bedroom is min. 2.75m wide, every other double (or twin) bedroom min. 2.55m wide.
- f. Any area with headroom less than 1.5m is not counted within GIA unless solely used for storage.
- g. Any other area used solely for storage and has headroom of 900-1500mm (such as under eaves) is counted at 50% of its floor area. Any area lower than 900mm is not counted.
- h. Built-in wardrobe counts towards GIA and bedroom floor requirements, but it should not reduce effective width of room below min. widths set out above. Built-in area in excess of 0.72m<sup>2</sup> in double bedroom and 0.36m<sup>2</sup> in single bedroom counts towards built-in storage requirements.
- i. Min. floor to ceiling height is 2.3m for at least 75% of GIA.

Rev	Date	Drawn	Checked
A	04/03/23	MMG	EJ

REVISED LAYOUT IN LINE WITH REVISED SITE LAYOUT.

Drawing stage: PLANNING

Drawing status: FOR APPROVAL

Client: **JRHT** JOSEPH ROUJNTREE HOUSING TRUST

Project: NEW DWELLINGS GARTHWAY WEST NEW EARSWICK

Drawing title: PROPOSED FLOOR PLANS HOUSE TYPE A 2B4P

Date	Drawn	Checked
JAN '22	MMG	FB
1:50 @ A3		



Job No: 403/02 (02) 100 A

# Proposed elevations 3 bed house type



FRONT



SIDE 1



REAR



SIDE 2

- NOTES**
- All elevations and details are to be checked on site
  - All elevations are to be applied to the above 3. Jagger Architects Ltd retain copyright
  - The design shall not be copied, altered or otherwise used in any form without the written consent of Jagger Architects Ltd
  - This drawing shall not be used for any other purpose without the written consent of Jagger Architects Ltd
  - This drawing shall not be used for any other purpose without the written consent of Jagger Architects Ltd

- MATERIALS KEY**
1. WALL: FACING BRICK.
  2. ROOF: PAN TILE.
- WALL-MOUNTED ELECTRIC CAR CHARGING POINT POSITION, WHERE FEASIBLE

REV	DATE	DRAWN	CHECKED
A	05/03/22	MMG	FS

BRICK-BUILT SECURE BIKE & GARDEN STORE NO LONGER ADJOINING DWELLING

drawing stage: PLANNING

drawing status: FOR APPROVAL

client: **JRHT** JOSEPH ROUNTREE HOUSING TRUST

project: NEW DWELLINGS GARTHWAY WEST NEW EARSWICK

drawing title: PROPOSED ELEVATIONS HOUSE TYPE B SBSP

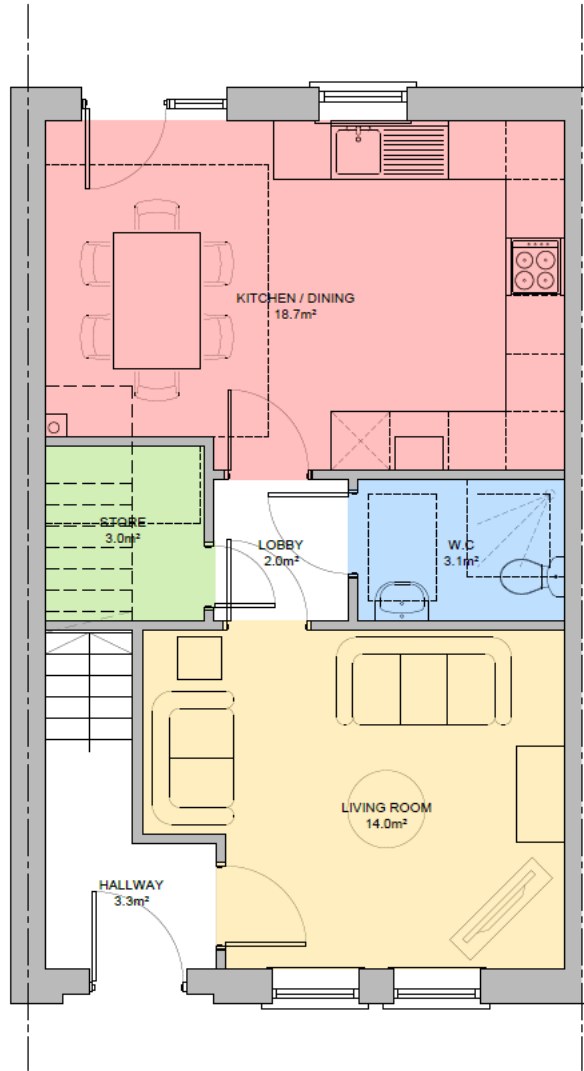
DATE	JAN '22	DRAWN	MMG
SCALE	1:100 @ A3	CHECKED	FS

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Job No	DWG No	Rev
403/02	(02)	201 A

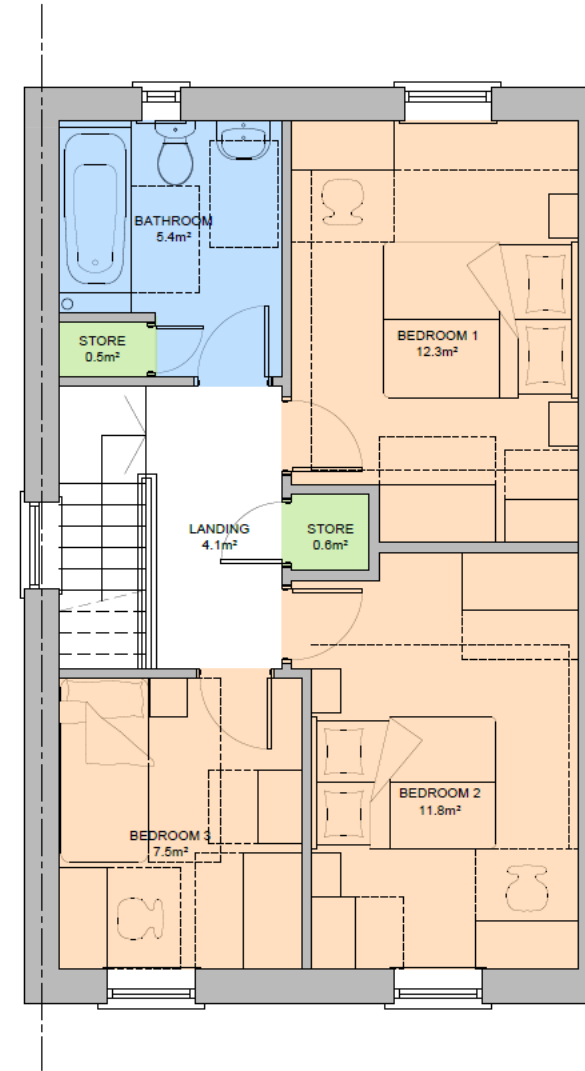


# Proposed floor plan 3 bed house type



GROUND FLOOR

3B5P - 93.6m<sup>2</sup>  
HOUSE TYPE B



FIRST FLOOR

- NOTES**
- All dimensions and levels are to be checked on site.
  - Any discrepancy as to be reported to the Shaw & Jagger Architects Ltd before any work commences.
  - This drawing shall not be used to ascertain any dimensions, work or specifications on site.
  - This drawing shall not be reproduced without express written permission from Shaw & Jagger Architects Ltd.
  - The only drawings and details to be used are those shown on the drawings and details as issued by Shaw & Jagger Architects Ltd.

- NDSS CHECKLIST**
- Min. GIA of 79.0m<sup>2</sup> and built-in storage of 2.5m<sup>2</sup> (3B5P)
  - Min. one double (or twin) bedroom.
  - Single bedroom floor area min. 7.5m<sup>2</sup> and min. 2.15m wide.
  - Double (or twin) bedroom floor area min. 11.5m<sup>2</sup>
  - One double (or twin) bedroom is min. 2.75m wide, every other double (or twin) bedroom min. 2.55m wide.
  - Any area with headroom less than 1.5m is not counted within GIA unless solely used for storage.
  - Any other area used solely for storage and has headroom of 900-1500mm (such as under eaves) is counted at 50% of its floor area. Any area lower than 900mm is not counted.
  - Built-in wardrobe counts towards GIA and bedroom floor requirements, but it should not reduce effective width of room below min. widths set out above. Built-in area in excess of 0.72m<sup>2</sup> in double bedroom and 0.36m<sup>2</sup> in single bedroom counts towards built-in storage requirements.
  - Min. floor to ceiling height is 2.3m for at least 75% of GIA.

Drawing stage: PLANNING  
 Drawing title: FOR APPROVAL  
 Client: **JRHT** JOSEPH ROJUNTREE HOUSING TRUST  
 Project: NEW DWELLINGS GARTHWAY WEST NEW EARSWICK  
 Drawing title: PROPOSED FLOOR PLANS HOUSE TYPE B 3B5P  
 Date: JAN '22 Drawn: MMG  
 Scale: 1:50 @ A3 Checked: FS

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Job No: DWG No: Rev: 403/02 (02) 110 #



VIEW 1 - GENERAL SITE OVERVIEW LOOKING NORTH-WEST



- NOTES**
- All dimensions and levels are to be checked on site.
  - All measurements are to be made to the Outer Edge of Asphalt/Concrete etc. not curbsides.
  - The drawing shall not be construed to indicate any easements. Work to be done elsewhere only.
  - This drawing shall not be reproduced without express written permission from Shaw & Jagger Architects Ltd.
  - The existing drainage and sewerage facilities are protected using all reasonable measures. Shaw & Jagger Architects Ltd shall not be responsible for the existing or future adequacy of these services.



VIEW 2 - LOOKING NORTH WEST FROM BETWEEN EXISTING APARTMENTS



VIEW 3 - VIEW OF SOUTH OF SITE



VIEW 4 - FROM THE NORTH-EAST, LOOKING SOUTH-WEST



VIEW 5 - REAR OF DEVELOPMENT LOOKING NORTH-EAST

no	date	drawn	checked
B	06/02/23	MWG	EJ
BRICK-BUILT SECURE BIKE STORES MOVED TO REAR.			
no	date	drawn	checked
A	04/11/23	MWG	EJ
NEW SITE LAYOUT FOLLOWING LA FEEDBACK			
drawing stage PLANNING			
drawing status FOR APPROVAL			

**JRHT** JOSEPH ROJUNTREE HOUSING TRUST

project NEW DWELLINGS GARTHWAY WEST NEW EARSWACK

drawing title PROPOSED CGI

date	drawn	checked
JAN '22	MWG	FB
scale	NTS	



Job No DWG No Rev  
403/02 (02) 300 B